



INTERLANDI AND ASSOCIATES

Custom Home Designs

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Designed For:
TJW HOMES

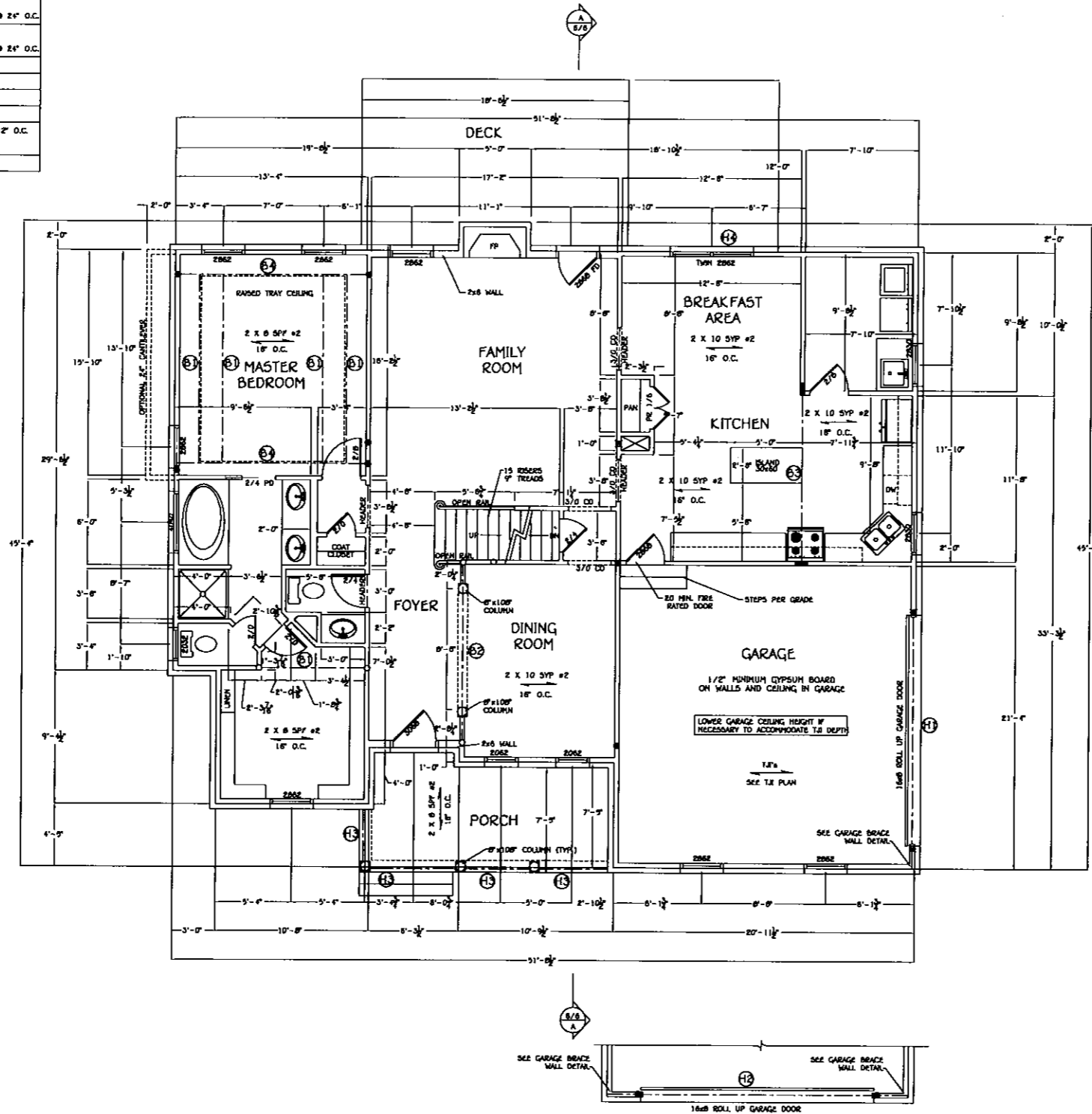
PLAN INDEX

COVER	COVER
PAGE 1 -	FRONT/REAR ELEVATIONS
PAGE 2 -	LEFT/RIGHT ELEVATIONS
PAGE 3 -	FOUNDATION PLAN
PAGE 4 -	FIRST FLOOR PLAN
PAGE 5 -	SECOND FLOOR PLAN
PAGE 6 -	ROOF PLAN/SECTION/DETAILS
PAGE C1 -	COMPOSITE PLAN



First Floor Beam Schedule			
Mark	Size	Comments	Multiple Member Connection
H1	(2) 1.75x18	1.9C LVL	W/3 rows of 18d nails 12" O.C. W/ 3x3 1/2x 5/16 brick lintel top bolted @ 24" O.C.
H2	(2) 1.75x11.875	1.9C LVL	W/2 rows of 18d nails 12" O.C. W/ 3x3 1/2x 5/16 brick lintel top bolted @ 24" O.C.
H3	(2) 2x8	SPF #2	
H4	(2) 2x12	SPF #2	
B1	(2) 2x8	SPF #2	
B2	(3) 1.75x9.25	1.9C LVL	
B3	(5) 1.75x9.25 or 1.75x16	1.9C LVL	W/ 2 rows of 1/2" staggered bolts 12" O.C.
B4	(3) 2x8	SPF #2	

JACK STUDS REQUIRED	
○	(2) 2x4 SPF #2
●	(3) 2x4 SPF #2
■	(4) 2x4 SPF #2
▣	(6) 2x4 SPF #2



- Notes:
- Ceiling height to be 9'-1 1/2" unless otherwise noted.
 - Vent exhaust fan to outside.
 - Exterior wall bracing shall be in accordance with Section R602.10.3 and Table R602.10.3 in IRC/NC code book.
 - Manufacturer (or provider) shall size all beams and columns.
 - Contractor to verify all exterior stud spacing and sizing.
 - All angled walls shown are at 45 degrees.
 - Exterior header heights to be 7'-0" unless otherwise noted.
 - Joints under parallel bearing plattens shall be doubled or a beam of adequate size to support the load shall be provided.
 - Exterior wall dimensions include sheathing thickness.
 - Window and door provider to verify tempered glass locations (inner and outer panes) and compliance with egress requirements prior to order of windows and doors.
 - Min. glazing for habitable rooms: (MASTER BEDROOM)
- | Unit Size | Qty. | Area |
|-----------|------|-------|
| 2062 | 3 | 39.87 |
| 2060 | 3 | 91.33 |
| TOTAL | | 91.00 |
- 91.00/504 = 18.06%

FRAMING S.F.	
FIRST FLOOR-	1578
SECOND FLOOR-	540
BONUS-	232
TOTAL-	2350
BASEMENT-	1111
STORAGE-	414
GARAGE-	442
PORCH-	131
DECK-	208

APPRAISAL S.F.	
FIRST FLOOR-	1633
SECOND FLOOR-	545
BONUS-	237
TOTAL-	2415
BASEMENT-	1130
STORAGE-	414
GARAGE-	461
PORCH-	131
DECK-	208

NOTICE:
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NOTE:
 ALL ELECTRICAL TO COMPLY WITH THE NATIONAL ELECTRIC CODE AND LOCAL BUILDING STANDARDS.

OPTIONAL FRONT ENTRY GARAGE
 SCALE: 1/4" = 1'-0"

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WORMAN 1A

Date: 10/02/07 Scale: 1/4" = 1'-0"

Drawn For: TJW Homes Sheet No. (336) 471-2810 4 OF 6

FIRST FLOOR PLAN WORMAN 1A

- Notes:
- Ceiling height to be 9'-1 1/2" unless otherwise noted.
 - Vent exhaust fan to outside.
 - Exterior wall bracing shall be in accordance with Section 8502.10.3 and Table 8502.10.3 in ICC/IRC code book.
 - Manufacturer (or provider) shall size all beams and columns.
 - Contractor to verify all exterior stud spacing and sizing.
 - All angled walls shown are @ 45 degrees.
 - Exterior header heights to be 7'-0" unless otherwise noted.
 - Joints under parallel bracing partitions shall be doubled or a beam of adequate size to support the load shall be provided.
 - Exterior wall dimensions include sheathing thickness.
 - Window and door provider to verify tempered glass locations (inner and outer panes) and compliance with egress requirements prior to order of windows and doors.
 - Min. glazing for habitable rooms: (BEDROOM 2)

Unit Size	Qty	Area
2046	2	18.66
TOTAL		18.66
18.66/142.00 = 13.14%		

Min. glazing for habitable rooms: (BEDROOM 3)

Unit Size	Qty	Area
2052	2	21.78
21.78/135.00 = 16.13%		

Min. glazing for habitable rooms: (BONUS ROOM)

Unit Size	Qty	Area
2052	1	10.33
10.33/200.00 = 5.17%*		

** MECHANICAL VENTILATION REQUIRED

Mark	Size	Comments	Multiple Member Connection
H1 (2)	2x12	SYP #2	
B1 (2)	1.75x11.875	1.9C LVL (2) rows of 18d nails 12" o.c.	

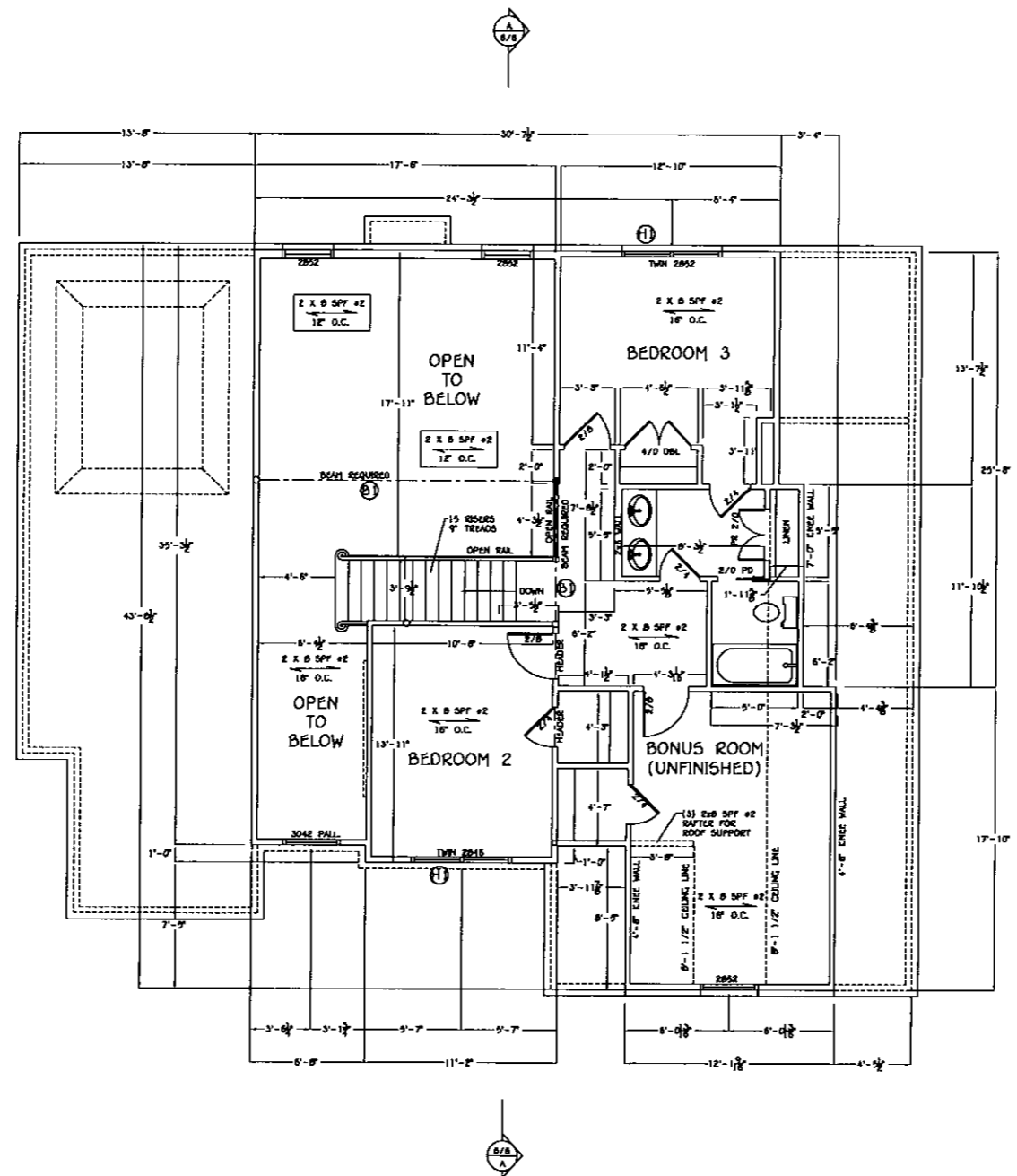
○	(2) 2x4 SPF #2
●	(3) 2x4 SPF #2

VERIFY 2046 WINDOWS WILL MEET EGRESS BEFORE ORDERING

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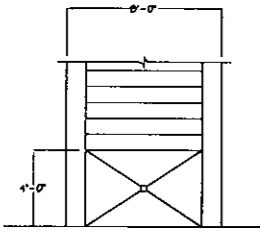
WORMAN 1A

Date: 10/02/07 Scale: 1/8" = 1'-0"

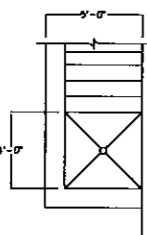
Drawn For: TJW Homes Sheet No. 2 OF 6

SECOND FLOOR PLAN WORMAN 1A

OPTIONAL REAR ACCESS FOR UNDERGROUND BASEMENT
SCALE: 1/4" = 1'-0"



OPTIONAL SIDE ACCESS FOR UNDERGROUND BASEMENT
SCALE: 1/4" = 1'-0"

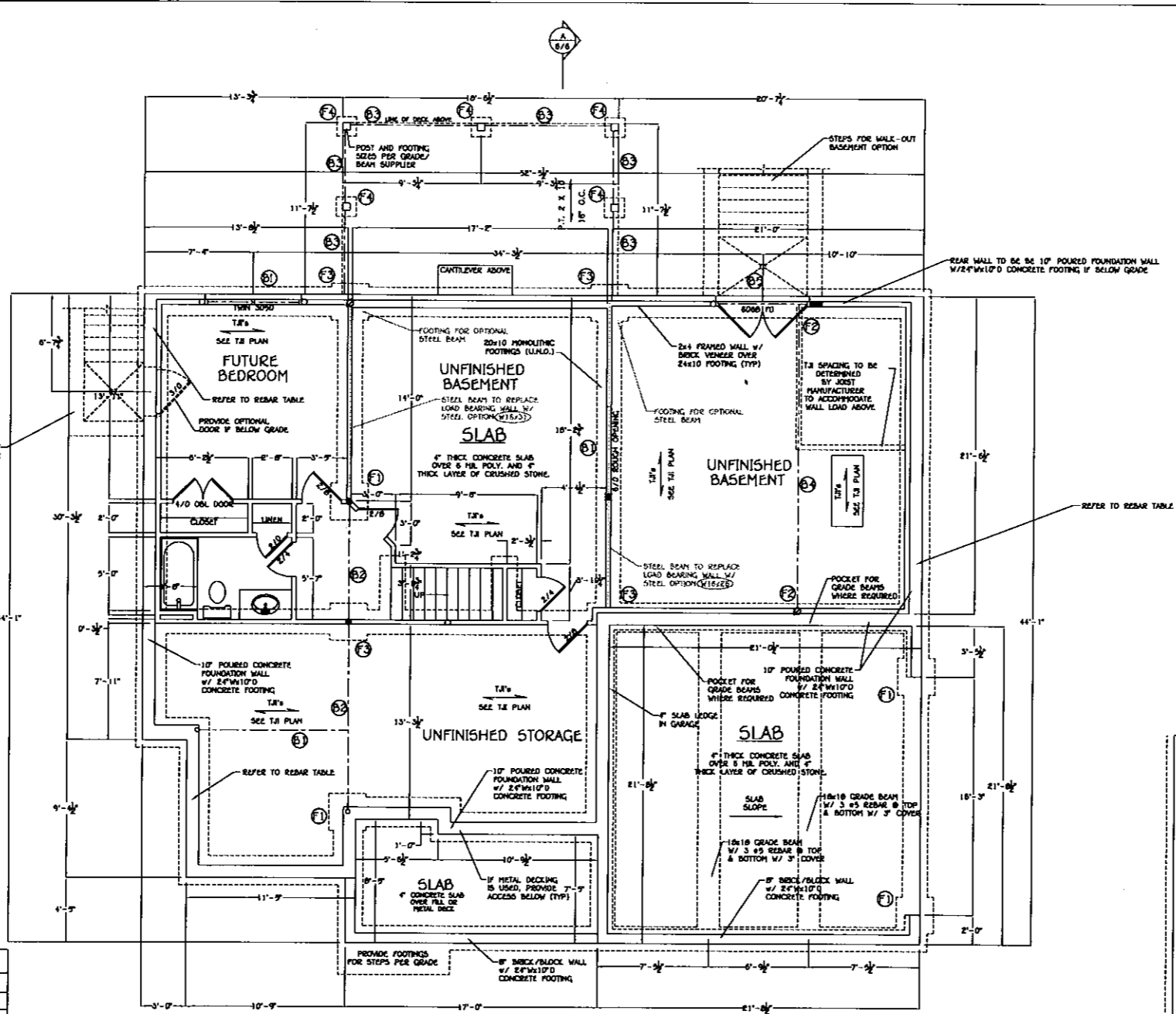


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Mark	Size	Comments	Multiple Member Connection
B1	(2) 2x12	DYP #2	
B2	(2) 1.75x16	1.9E LVL	W/(3) rows of 16d nails 12" O.C.
B3	(2) 2x10	P.T. DYP #2	
B4	(4) 1.75x16 or W12x19	1.9E LVL	W/(2) rows of 1/2" x bolts @ 12" O.C.
B5	(2) 1.75x11.675	1.9E LVL	

Mark	Size
F1	2'-0" x 2'-0" x 10'
F2	3x3x10'
F3	4'x4'x10'
F4	2'x2'x10'

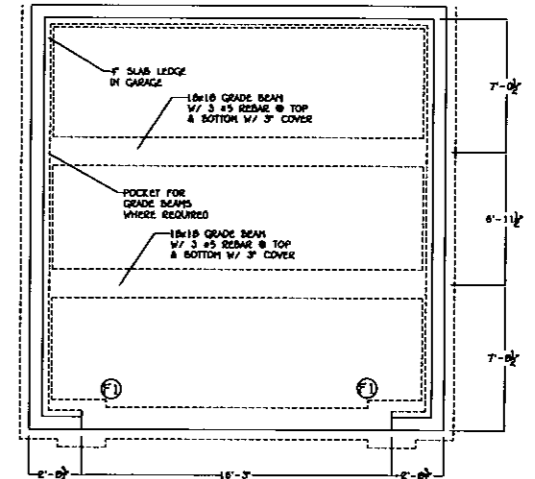
Mark	Size	Comments
○	(2) 2x4 SPF #2	
●	(3) 2x4 SPF #2	
■	(4) 2x4 SPF #2	
□	(6) 2x4 SPF #2	
○	3" #Pipe Column	



- Notes:**
- Ceiling height to be 9'-1-1/2" unless otherwise noted.
 - Exterior walls of houses on foundation systems with more than 30" of unbalanced fill and slab on grade houses shall be anchored to the foundation system or slab with at least 1/2" dia. bolts placed 6'-0" on center and not more than 12" from corners or approved metal strips. Bolts shall extend a minimum of 12" into the masonry or 7" into concrete. Strips shall be embedded per manufacturer's specifications.
 - Footings widths are based on a load-bearing soil capacity of 2000 psf. For any variations, see Section R403 in IRC/NC code book.
 - Contractor to verify all exterior stud spacing and sizing.
 - For stepped foundations, refer to Section R602.11.3 in IRC/NC code book.
 - Manufacturer (or provider) shall size all beams and columns.
 - Exterior wall bracing shall be in accordance with Section R602.10.3 and Table R602.10.3 in IRC/NC code book.
 - Block between joist of girder. Support point loads to columns.
 - Exterior header heights to be 7'-0" unless otherwise noted.
 - Field verify all wall thickness. Width may vary per grade.
 - Min. glazing for habitable rooms: (FUTURE BEDROOM)
- | Item | Qty | Cost |
|--------------|-----|--------------------|
| 3050 | 2 | 24 |
| TOTAL | | 12.00 |
| | | 12.00/168 = 14.29% |
- All footings shall bear on original undisturbed soil.
 - The 28-day compressive strength of all footings is 3,000 PSI.
 - All reinforcing steel to be ASTM A615 grade 60.
 - Use ASTM C90 CMU f'm = 1500 PSI.
 - Use ASTM C216 face brick f'm = 3000 psi. Attach to wood frame with minimum #22 galvanized sheet piling corrosion resistant corrugated metal ties 7/8" wide at vertical intervals max. 18" o.c. and horizontal intervals maximum 24" o.c. Provide weepholes at 4'-0" o.c. max. at first course above flashing U.L.D.
 - Garage and porch slabs to be 4" lower than main house finished floor where possible.

REAR TABLE

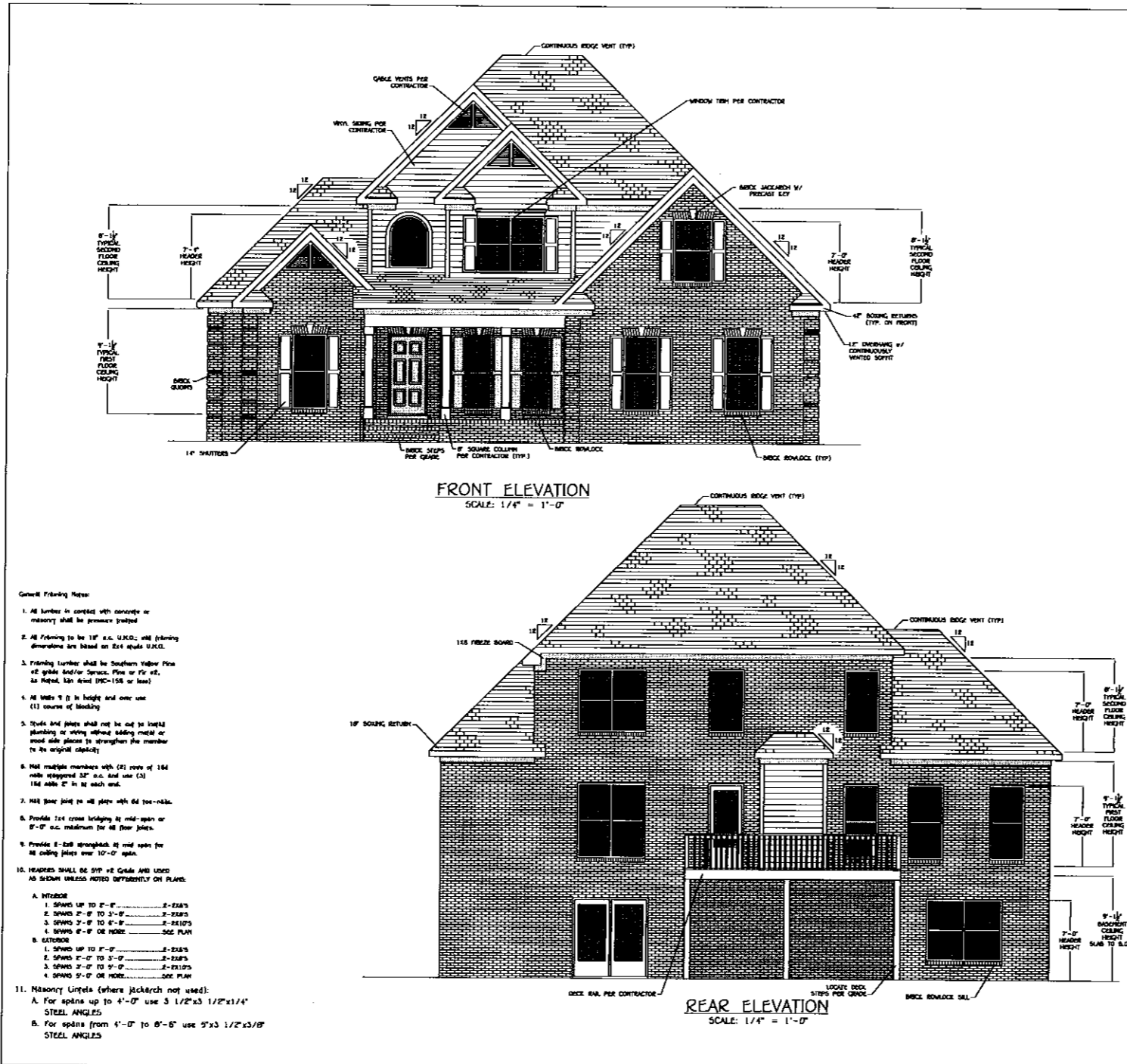
Rebar Detail	Vertical	Horizontal
7-8 ft. rebar	#4 rebar @ 18" o.c.	#4 rebar @ 18" o.c.
3-6 ft. rebar	#4 rebar @ 18" o.c.	#4 rebar @ 24" o.c.



OPTIONAL FRONT ENTRY GARAGE
SCALE: 1/4" = 1'-0"

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WORMAN 1A
Date: 10/02/07 Scale: 1/4" = 1'-0"
Drawn For: TJW Homes Sheet No. 3 OF 6
BASEMENT FOUNDATION PLAN WORMAN 1A



ELEVATION NOTES

1. GRADE ELEVATIONS SHOWN DO NOT NECESSARILY REFER TO THIS OR ANY OTHER LOT. THEY ARE FOR DIAGNOSTIC PURPOSES ONLY AND MAY VARY. BUILDER IS RESPONSIBLE FOR ADAPTING THIS PLAN TO SUIT THE EXISTING TOPOGRAPHY OF THE SITE.
2. WINDOW GRILLS SHOWN ARE TO SCHEMATICALLY EXPRESS DESIGN INTENT. ACTUAL STD. GRILLS MAY VARY PER MANUFACTURER OR CUSTOM GRILLS MAY BE REQUIRED. ANY VARIATIONS FROM THAT SHOWN MUST BE APPROVED BY DESIGNER.
3. ROOF VENTILATION IS TO BE DETERMINED BY BUILDER AS PER CODE.
4. DOWN SPOULTS NOT SHOWN FOR CLARITY. CONTRACTOR TO VERIFY LOCATIONS BY OWNER.

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NOTICE

SPRESS CAD SERVICES HAS PREPARED THESE PLANS IN A MANNER THAT SHOWS GENERAL STYLES, DETAILS AND METHODS OF CONSTRUCTION. OWNER'S INCLUDING - BUT NOT LIMITED TO - THE STYLES, DETAILS AND METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE BUILDER OR PURCHASER, AND ANY CONTRACT OR AGREEMENT MADE BY THE BUILDER OR PURCHASER IN REFERENCE TO A HOME CONSTRUCTED FROM THESE PLANS SHALL BE IN FULL FORCE AND EFFECT. THESE PLANS ARE DRAWN BY SPRESS CAD SERVICES. SPRESS CAD SERVICES ASSUMES NO LIABILITY FOR ANY ALTERATIONS OF THESE PLANS MADE AT THE DISCRETION OF THE BUILDER OR PURCHASER, NOR FOR ANY CONTRACT OR AGREEMENT MADE IN REFERENCE HERETO.

NOTICE

1. WATER AND MOISTURE PROTECTION

- (A) APPROXIMATE FOUNDATION WATERPROOFING WHERE EXTERIOR GRADE IS ABOVE GRADE, SPACE ON EXTERIOR SLAB AND PERIMETER 4" PERFORATED PLASTIC FOUNDATION DRAINAGE AND SLOPE TO ON-SITE DRAINAGE OR NATURAL DRAINAGE COURSE.
- (B) ALL BUILDING EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WEATHER SHALL BE FLASHED AND/OR CAULKED AS PER CODE AND/OR MANUFACTURER'S RECOMMENDATIONS. IF COMPLETE, ALL JOINTS SHALL BE SINGLE FLASHING AGAINST A VERTICAL SURFACE. FLASHING SHALL BE STEP FLASHING.
- (C) ALL FLASHING SHALL BE TURNED OUT AT LOWER EDGE TO DIRECT WATER AWAY FROM STRUCTURE.
- (D) ALL FLASHING SHALL BE COPPER, ALUMINUM OR PVC UNLESS NOTED OTHERWISE.
- (E) IF ANY TYPE OF LAP FLASHING OTHER THAN WHAT IS USED, PROVIDE A SEALED WATERPROOF BARRIER BEHIND ANY METAL OR SLAB WITH FLASHING TURNED OUT AT FIRST FLASHING COURSE BELOW JOINT.
- (F) IF ANY TYPE OF LAP FLASHING OTHER THAN WHAT IS USED, WRAP ALL CORNERS 6" X 6" MIN. FELT EXTENDING 12" HORIZONTALLY BEYOND METAL JOINTS AND TURNED OUT OVER CLADDING OR FLASHING AT BOTTOM OF JOINT.

2. WINDOWS AND DOORS

- (A) WINDOW SIZES SHOWN ARE NOMINAL FRAME SIZES UNLESS NOTED OR SPECIFIED OTHERWISE AND MAY VARY SLIGHTLY ACCORDING TO MANUFACTURE.
- (B) CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING WINDOWS THAT MEET ENERGY AND THERMAL GLASS REQUIREMENTS.
- (C) ALL WINDOW DOORS, SLIDING GLASS DOORS, AND SHOWER ENCLOSURES AND DOORS SHALL BE TYPICAL.
- (D) HEADER HEIGHTS ARE APPROXIMATE AND MAY VARY ACCORDING TO MANUFACTURE. CONTRACTOR SHALL SET WINDOWS, DOORS, AND CASES OPENINGS AT SAME NOMINAL HEIGHT SO THAT TRIM SHALL ALIGN.
- (E) UNLESS NOTED OTHERWISE, TRANSOM HEIGHTS ARE NOMINAL AND SHALL BE SET TO MATCH DIRECTLY TO WINDOW BELOW AND WITH A NOMINAL OVERALL HEIGHT TO MATCH ANY 6'-0" DOORS OR OPENINGS.
- (F) ALL GLASS IN ANY DOOR SHALL BE THERMOFLEX UNLESS OTHERWISE PERMITTED BY CODE.

3. GARAGE SEPARATION

- (A) GARAGE CEILING & WALL BETWEEN HOUSE AND GARAGE SHALL BE 1/2" BRICK MASONRY.
- (B) DOORS FROM HOUSE TO GARAGE SHALL BE 1 3/4" THICK SOLID WOOD OR 20-MIL FRATED.

4. GENERAL OPENING LIMITATIONS

OPENED QUARTERS OR OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR OPERATIONAL CLOSURES WHICH DO NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES (102 mm) OR MORE IN DIAMETER. HORIZONTAL SPACING BETWEEN THE VERTICAL MEMBERS IN REQUIRED QUARTERS SHALL BE A MAX OF 4 INCHES (102 mm) AT THE NEAREST POINT BETWEEN THE MEMBERS.

EXCEPTION: THE TRIANGULAR OPENINGS FORMED BY THE RISER TREAD AND BOTTOM RAIL OF A STAIR AT THE OPEN END OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A SPHERE 4 INCHES (102 mm) DIAMETER PASSES THROUGH.

5. TERMITE PROTECTION

ALL LARGE PENETRATIONS & SLABS SHALL BE PRETREATED FOR TERMITES BY A LICENSED ESTIMATOR.

6. THE DESIGNER MAKES EVERY EFFORT TO USE ONLY PRODUCTS AND TECHNIQUES RECOGNIZED AT THE TIME AS APPROPRIATE FOR THE APPLICATIONS SHOWN. HOWEVER, MANY ITEMS SHOWN ON THESE PLANS ARE IN GENERAL TERMS AND ARE LEFT TO THE OWNER'S AND/OR CONTRACTOR'S DISCRETION OR ARE SHOWN GENERALLY AS REQUESTED BY THE OWNER AND/OR THE CONTRACTOR. THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE PERFORMANCE OF ANY MATERIAL OR PRODUCTS SHOWN OR ANY TECHNIQUES NOT SPECIFICALLY SHOWN ON THE PLANS.

- General Framing Notes**
1. All lumber in contact with concrete or masonry shall be pressure treated.
 2. All framing to be 1 1/2" o.c. U.S.D.C. All framing dimensions are based on 2 1/2" square U.S.D.C.
 3. Framing lumber shall be Southern Yellow Pine #2 grade and/or Spruce, Pine or Fir #2, as noted, 2x4 or 2x6 (2x4-158 or less).
 4. All walls 9' (7' in height and over) use (1) course of blocking.
 5. Studs and joists shall not be cut to length planning on using rafter sitting metal or wood side plates to strengthen the member to its original capacity.
 6. Nail multiple members with (2) rows of 16d nails staggered 32" o.c. and use (3) 16d nails 2" in at each end.
 7. Nail floor joists to all plates with 6d toe-nails.
 8. Provide 1x4 cross bracing at mid-span or 8'-0" o.c. maximum for all floor joists.
 9. Provide 2x4 cross bracing at mid-span for all ceiling joists over 10'-0" span.
 10. HEADERS SHALL BE SPT #2 GRADE AND USED AS SHOWN UNLESS NOTED OTHERWISE ON PLANS.
 - A. INTERIOR
 1. SPAN UP TO 8'-0" 2-2x8's
 2. SPAN 8'-0" TO 12'-0" 2-2x8's
 3. SPAN 12'-0" TO 16'-0" 2-2x10's
 4. SPAN 16'-0" OR MORE SEE PLAN
 - B. EXTERIOR
 1. SPAN UP TO 8'-0" 2-2x8's
 2. SPAN 8'-0" TO 12'-0" 2-2x8's
 3. SPAN 12'-0" OR MORE 2-2x10's
 4. SPAN 16'-0" OR MORE SEE PLAN
 11. Masonry lintels (where jack/arch not used):
 - A. For spans up to 4'-0" use 3 1/2"x3 1/2"x17 1/2" STEEL ANGLE'S
 - B. For spans from 4'-0" to 6'-0" use 5"x3 1/2"x3/8" STEEL ANGLE'S

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WORMAN 1A

DATE: 10/02/07 SCALE: 1/4" = 1'-0"

Drawn For: T.J. Holmes (336) 471-2210 SHEET No. 1 OF 6

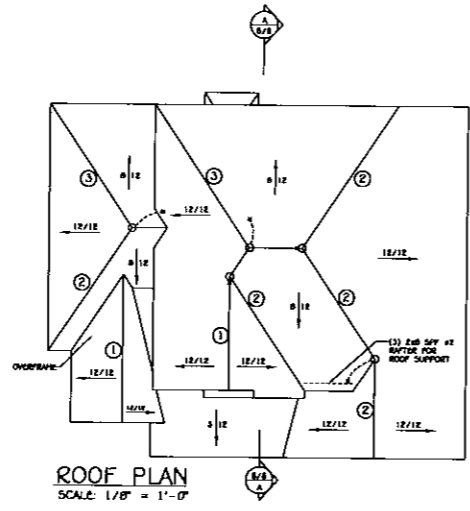
FRONT/REAR ELEVATIONS WORMAN 1A

- Notes:
- Opposing members of the ridge must align within the thickness of the ridge member. Regularly spaced hip and valley rafters need not align.
 - A 1x6 or 2x4 cedar beam shall be nailed in the upper third of the roof to every third pair of rafters not in excess of 4 feet on center.
 - Roofing Calculations:
 Roof Area = 2263 SF
 Ventilation Area required = 2263/150 = 15.09 SF
 15.09 SF = 2192 SQ IN
 2192/16 SQ IN per LF = 137 FT of vent required
 Install 80' - Ridge vent
 Install continuous soffit vent
 Install mechanical vents as required
 - All ridge, hip and valley beams to be 2x10 SYP U.L.D.
 - All rafters to be 2x6 SYP #2 spaced @ 16" O.C. or better, unless otherwise noted.
 - Roof sheathing shall be 7/16" OSB with #15 (48 U.L.D.
 - All joints and rafters shall be aligned over studs below.
 - Use (X) for members for all roof openings at dormers, chimneys, etc.

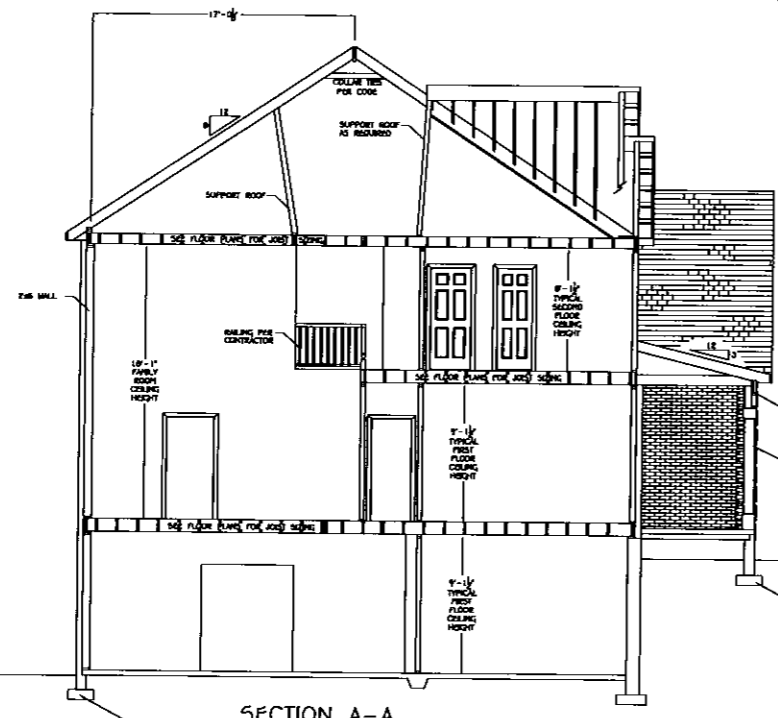
Roof Beam Schedule

Member	Size	Comments
1	2x12	SYP #2
2	1.75x9.25	1.9C LVL
3	1.75x11.875	1.9C LVL

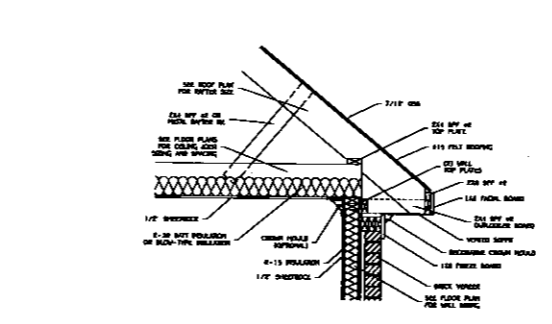
○ - (X) 2x4 1" Post Down
 X - Post down to support



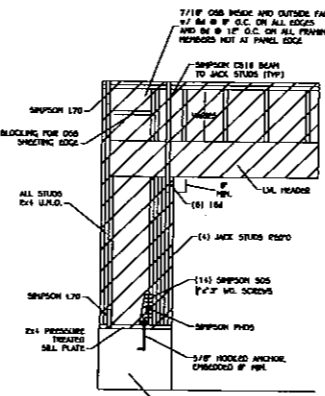
ROOF PLAN
SCALE: 1/8" = 1'-0"



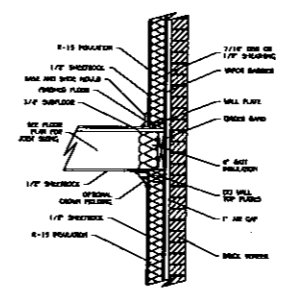
SECTION A-A
SCALE: 1/4" = 1'-0"



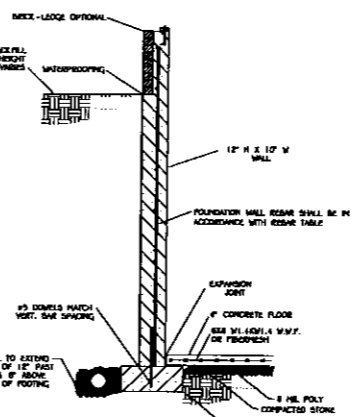
Typical 12" Overhang Detail
NOT TO SCALE



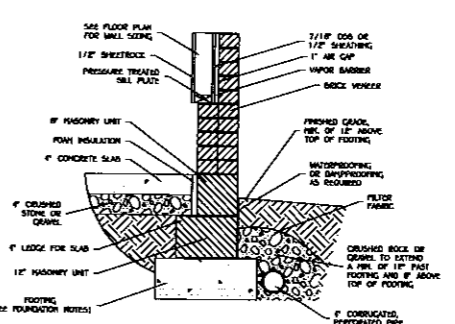
Garage Brace Wall Detail
NOT TO SCALE



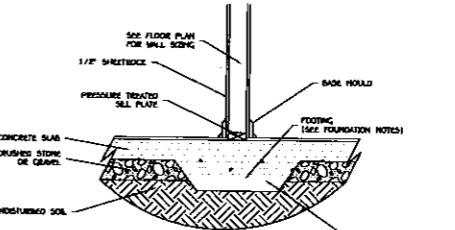
Typical Ceiling/Floor Detail
NOT TO SCALE



Basement Wall Detail
NOT TO SCALE



Typical Garage Detail
NOT TO SCALE



Bearing Partition Footing
NOT TO SCALE

ROOF TABLE

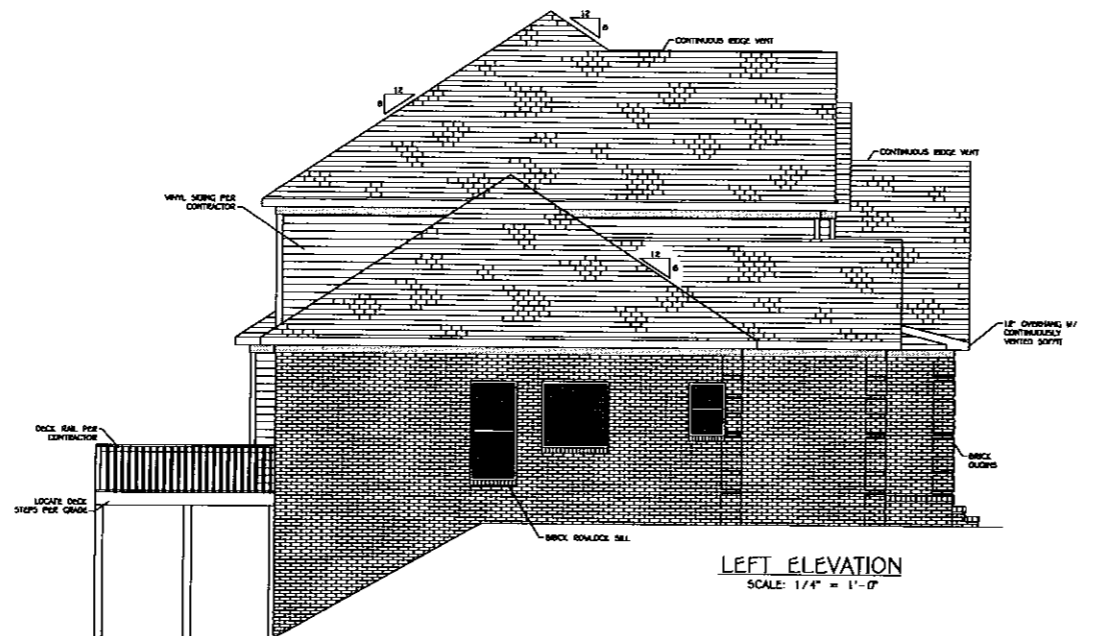
Member	Size	Comments
1	2x12	SYP #2
2	1.75x9.25	1.9C LVL
3	1.75x11.875	1.9C LVL

NOTICE:
 SPRESS CAD SERVICES HAS TAKEN GREAT CARE IN THE PREPARATION OF THESE PLANS. HOWEVER, SINCE CODES ARE SUBJECT TO CHANGE AND INTERPRETATIONS VARY, WE DO NOT GUARANTEE COMPLIANCE WITH ANY SPECIFIC CODES OR ORDINANCES. PURCHASER OR BUILDER IS SOLELY RESPONSIBLE FOR VERIFYING COMPLIANCE WITH LOCAL BUILDING CODES AND ORDINANCES AND FOR ANY MODIFICATIONS TO THE PLANS THAT MAY BE NECESSARY TO BE MADE IN ORDER TO COMPLY. BUILDER IS ALSO RESPONSIBLE FOR VERIFYING SITE AND SOIL CONDITIONS AS WELL AS ALL DIMENSIONS AND SQUARE FOOTAGE CALCULATIONS BEFORE BEGINNING CONSTRUCTION. THESE PLANS SHOULD BE REVIEWED BY A LOCAL ARCHITECT OR ENGINEER TO VERIFY ADAPTATION TO SITE AND LOCAL STRUCTURAL DESIGN REQUIREMENTS. SPRESS CAD SERVICES MAY NOT BE HELD RESPONSIBLE AND ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS.
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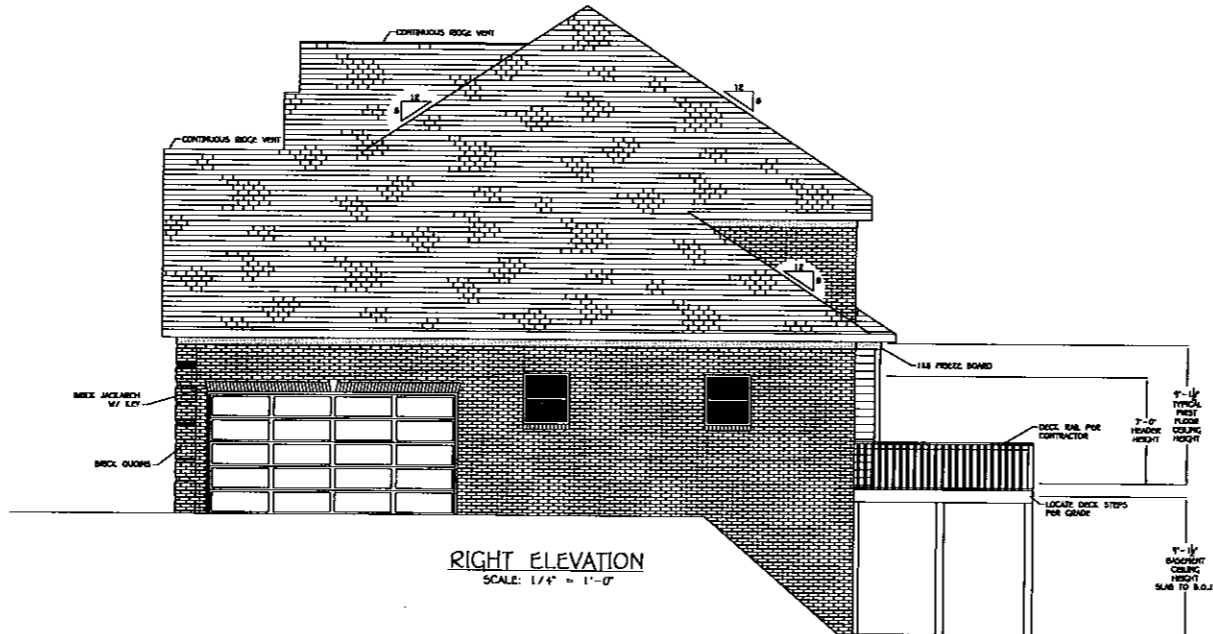
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WORMAN 1A

Date:	10/02/07	Scale:	AS NOTED
Drawn For:	TJM Homes	Sheet No.:	6 OF 6
ROOF PLAN/SECTION/DETAILS		WORMAN 1A	



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. CRACK ELEVATIONS SHOWN DO NOT NECESSARILY REFER TO THIS OR ANY OTHER LOT. THEY ARE FOR DIAGNOSTIC PURPOSES ONLY AND MAY VARY. BUILDER IS RESPONSIBLE FOR ADAPTING THIS PLAN TO SUIT THE EXISTING TOPOGRAPHY OF THE SITE.
2. WINDOW GRILLS SHOWN ARE TO SCHEMATICALLY EXPRESS DESIGN INTENT. ACTUAL GRILLS SHALL BE MANUFACTURED BY CUSTOM GRILLS MAY BE REQUIRED. ANY VARIATIONS FROM THAT SHOWN MUST BE APPROVED BY BUILDER.
3. ROOF VENTILATION IS TO BE DETERMINED BY BUILDER AS PER CODE.
4. DOWN SPOUTS NOT SHOWN FOR CLARITY. CONTRACTOR TO VERIFY LOCATIONS W/ OWNER.

NOTICE:

SPRESS CAD SERVICES HAS TAKEN GREAT CARE IN THE PREPARATION OF THESE PLANS. HOWEVER, SINCE THESE ARE SUBJECT TO CHANGE AND INTERPRETATIONS MUST BE MADE BY THE BUILDER OR PURCHASER. PURCHASER OR BUILDER IS SOLELY RESPONSIBLE FOR VERIFYING COMPLIANCE WITH LOCAL BUILDING CODES AND ORDINANCES AND FOR ANY MODIFICATIONS THAT MAY BE REQUIRED IN ORDER TO COMPLY. BUILDER IS ALSO RESPONSIBLE FOR VERIFYING SITE AND SOIL CONDITIONS AS WELL AS ALL DIMENSIONS AND SQUARE FOOTAGE CALCULATIONS BEFORE BEGINNING CONSTRUCTION. THESE PLANS SHOULD BE REVIEWED BY A LOCAL ARCHITECT OR ENGINEER TO VERIFY ADAPTATION TO SITE AND LOCAL STRUCTURAL DESIGN REQUIREMENTS. SPRESS CAD SERVICES MAY NOT BE HELD RESPONSIBLE AND ASSUMES NO LIABILITY FOR ANY HOME CONTRACTED FROM THESE PLANS.

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NOTICE:

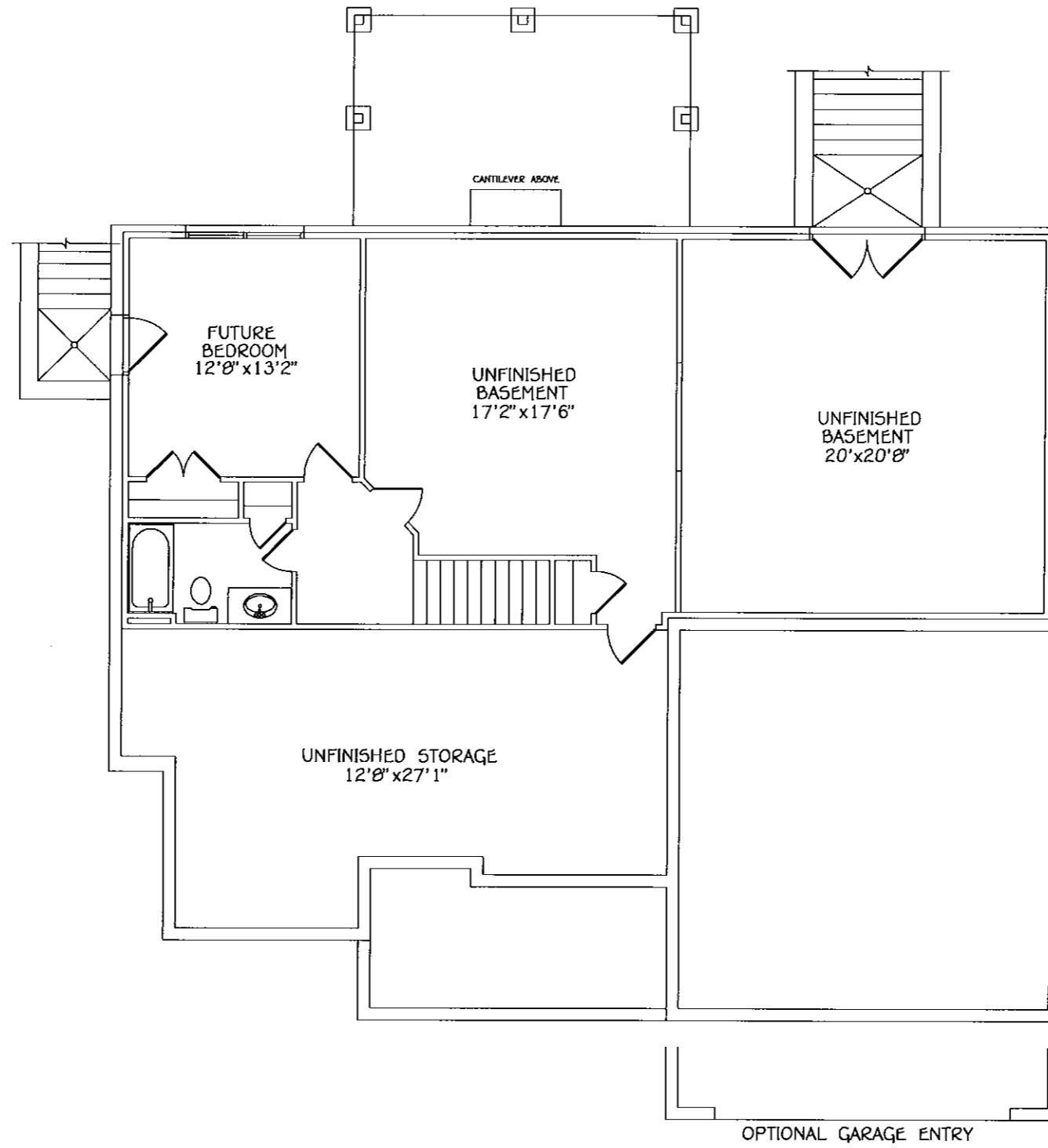
SPRESS CAD SERVICES HAS PREPARED THESE PLANS IN A MANNER THAT SHOWS GENERAL STRUCTIONS, DETAILS AND METHODS OF CONSTRUCTION. CHANGES INCLUDING BUT NOT LIMITED TO THE STRUCTIONS, DETAILS AND METHODS OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE BUILDER OR PURCHASER. ANY AGREEMENT MADE BY THE BUILDER OR PURCHASER IN REFERENCE TO A HOME CONTRACTED FROM THESE PLANS SUPERSEDES THE PLANS IN THEIR ENTIRETY AS WELL AS THE DESIGN OF SPRESS CAD SERVICES. SPRESS CAD SERVICES ASSUMES NO LIABILITY FOR ANY ALTERATION OF THESE PLANS MADE AT THE DISCRETION OF THE BUILDER OR PURCHASER, NOR FOR ANY CONTRACT OR AGREEMENT MADE IN REFERENCE HERETO.

NOTICE:

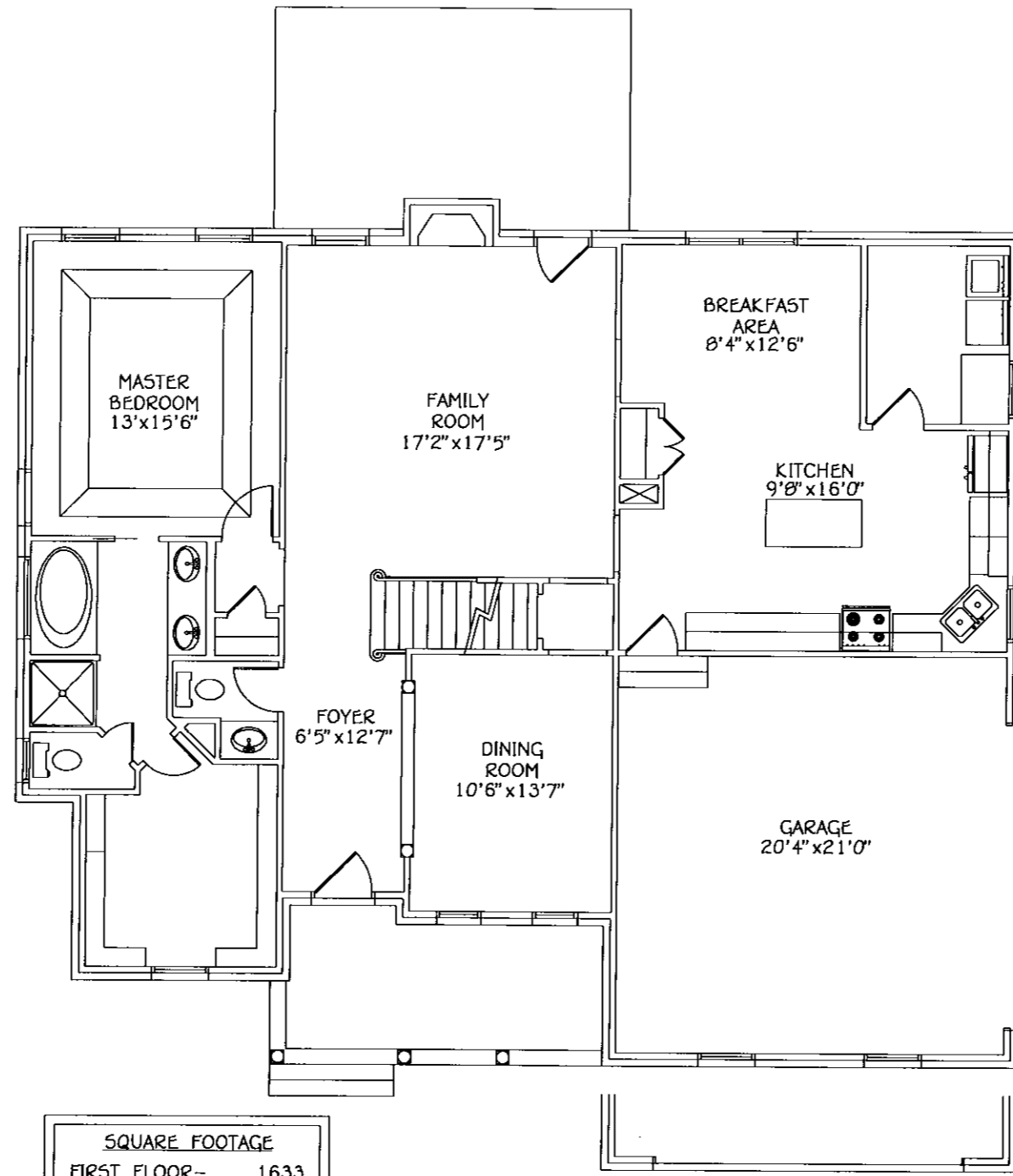
1. WATER AND MOISTURE PROTECTION.
 - (A) PROVIDE FOUNDATION WATERPROOFING WHERE EXTERIOR GRADE IS ABOVE FINISH FLOOR SLAB AND INSTALL 4" PREPARED PLASTIC FOUNDATION DRAINAGE AND SLOPE TO OR-SITE DRAIN OR NATURAL DRAINAGE COURSE.
 - (B) ALL BUILDING EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WEATHER SHALL BE FLASHED AND/OR CALLED AS PER CODE AND/OR BUILT-IN-PROTECTED PROPER CONSTRUCTION TECHNIQUES. ALL FLASHING SHALL BE FLASHING AGAINST A TYPICAL SIDEWALK SHALL BE 2" DRAINAGE FLASHING SHALL BE TURNED OUT AT LOWER EDGE TO DIRECT WATER OUT OF STRUCTURE.
 - (C) ALL FLASHING SHALL BE COPPER, ALUMINUM OR PVC UNLESS NOTED OTHERWISE.
 - (D) ANY TYPE OF LAP SIDING OTHER THAN VINYL IS USED, PROVIDE A SEALED WATERPROOF BARRIER BEHIND ANY VERTICAL OR HORIZONTAL BARRIER TURNED OUT AT FIRST SIDING COURSE BELOW FINISH.
 - (E) IF ANY TYPE OF LAP SIDING OTHER THAN VINYL IS USED, SEAL ALL CORNERS W/ 3/8" POLY BUTYLENE 17' HORIZONTALLY BEHIND VERTICAL CORNERS AND TURNED OUT OVER CLADDING OR FLASHING AT BOTTOM OF JOINT.
2. WINDOWS AND DOORS.
 - (A) WINDOW SIZES SHOWN ARE NOMINAL FRAME SIZES UNLESS NOTED OR SPECIFIED OTHERWISE AND MAY VARY SLIGHTLY ACCORDING TO MANUFACTURER.
 - (B) CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING WINDOWS THAT MEET CODES AND TEMPERED GLASS REQUIREMENTS.
 - (C) ALL FRENCH DOORS, SLIDING GLASS DOORS, AND SHOWN ENCLOSURES AND DOORS SHALL BE TEMPERED.
 - (D) WEATHER STRIPS ARE APPROPRIATE AND MAY VARY ACCORDING TO MANUFACTURER. CONTRACTOR SHALL SET WINDOWS, DOORS, AND CASED OPENINGS AT SAME NOMINAL HEIGHT SO THAT TRIM SHALL ALIGN.
 - (E) UNLESS NOTED OTHERWISE, TRIMMING HEIGHTS ARE NOMINAL AND SHALL BE USED TO WALL DIRECTLY TO WINDOW BELOW AND TRIM A NOMINAL HEIGHT TO MATCH ANY 8'-0" DOORS OR OPENINGS.
 - (F) ALL GLASS IN ANY DOOR SHALL BE TEMPERED UNLESS OTHERWISE PERMITTED BY CODE.
3. GARAGE SEPARATION.
 - (A) GARAGE CEILING & WALL BETWEEN HOUSE AND GARAGE SHALL BE 1/2" SHEET ROCK.
 - (B) DOORS FROM HOUSE TO GARAGE SHALL BE 1 3/8" THICK SOLID WOOD OR 20-MIL BATED.
4. GARAGE FLOOR FINISHING.
 - (A) REQUIRED GUARDRAILS ON OPEN SOLES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERLOCKED RAILS OR ORNAMENTAL CLOSED BRACKS DO NOT ALLOW PASSAGE OF AN OBJECT 6" WIDE (152 mm) OR MORE IN DIAMETER. HORIZONTAL SPACING BETWEEN THE VERTICAL MEMBERS OF REQUIRED GUARDRAILS SHALL BE A MAX. OF 4" INCHES (102 mm) AT THE NEAREST POINT BETWEEN THE MEMBERS.
 - (B) UNLESS THE TRIANGULAR OPENINGS FORMED BY THE RAIL, TREAD AND ROSTER RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A SPHERE 6" INCHES (152 mm) CANNOT PASS THROUGH.
5. TERMITES PROTECTION.
 - (A) ALL WOOD FOUNDATIONS & SLABS SHALL BE PRETREATED FOR TERMITES BY A LICENSED EXTERMINATOR.
6. THE DESIGNER MAKES EVERY EFFORT TO USE ONLY PRODUCTS AND TECHNIQUES RECOMMENDED AT THE TIME AS APPROPRIATE FOR THE APPLICATIONS SHOWN. HOWEVER, MANY ITEMS SHOWN ON THESE PLANS ARE IN GENERIC TERMS AND ARE LEFT TO THE OWNER AND/OR CONTRACTOR'S DISCRETION OR ARE SHOWN SPECIFICALLY AS REQUESTED BY THE OWNER. INADVISOR THE CONTRACTOR, THE DESIGNER ASSUMES NO RESPONSIBILITY FOR THE PERFORMANCE OF ANY MATERIAL OR PRODUCTS SHOWN OR ANY TECHNIQUES NOT SPECIFICALLY SHOWN ON THE PLANS.

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WORMAN 1A
 Date: 10/02/07 Scale: 1/4" = 1'-0"
 Drawn For: TJW Horman Sheet No. 2 OF 6
 LEFT/RIGHT ELEVATIONS WORMAN 1A



BASEMENT



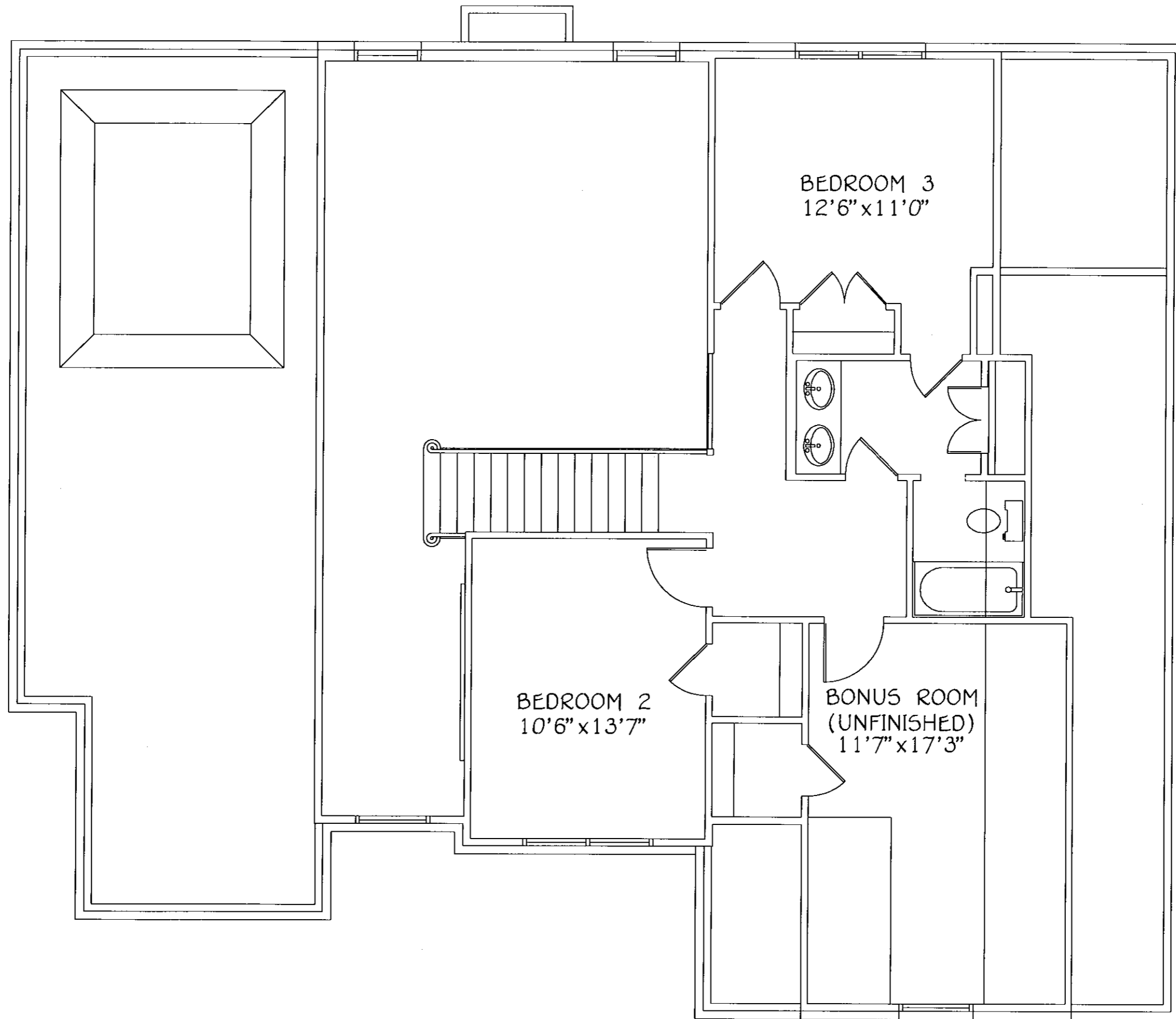
SQUARE FOOTAGE	
FIRST FLOOR-	1633
SECOND FLOOR-	545
BONUS-	237
TOTAL-	2415
BASEMENT-	1130

FIRST FLOOR

OPTIONAL GARAGE ENTRY



FRONT ELEVATION



SECOND FLOOR